
To: PLANNING_COMMISSIONERS
Subject: Item No. 3 - Additional Materials Received - Plaza CDM - Revised Plans

From: Murillo, Jaime
Sent: Tuesday, December 04, 2012 11:47 AM
To: Planning Commissioners
Cc: Nova, Makana; Ramirez, Gregg; Wisneski, Brenda; Garciamay, Ruby; Brine, Tony; Mulvihill, Leonie; Brandt, Kim
Subject: Agenda Item 3- Plaza CDM- Revised Plans

Good Afternoon Commissioners,
As indicated in the staff report for Agenda Item No. 3 (Plaza Corona del Mar), the proposed plans included as Attachment PC4 of the staff report incorrectly label and illustrate the proposed Lot 1 (residential lot) as 15,577 SF and the proposed Lot 2 (commercial lot) as 3,594 SF due to a mapping error. An approximately 82 SF area illustrated at the northeasterly corner of proposed Lot 2 was inadvertently illustrated as a portion of proposed Lot 1.

Attached is a revised set of the architectural plans illustrating the correct lot areas and property line boundaries. Lot 1 is now correctly illustrated as 15,495 SF and Lot 2 is illustrated as 3,676 SF. A revised Tentative Tract Map exhibit is also provided illustrating the correct lot information.

Hard copies of the revised plans will be distributed at the meeting. The project data illustrated in Tables 1 and 2 of the staff report remain correct. Please let me know if you have any questions.

Thanks,
Jaime

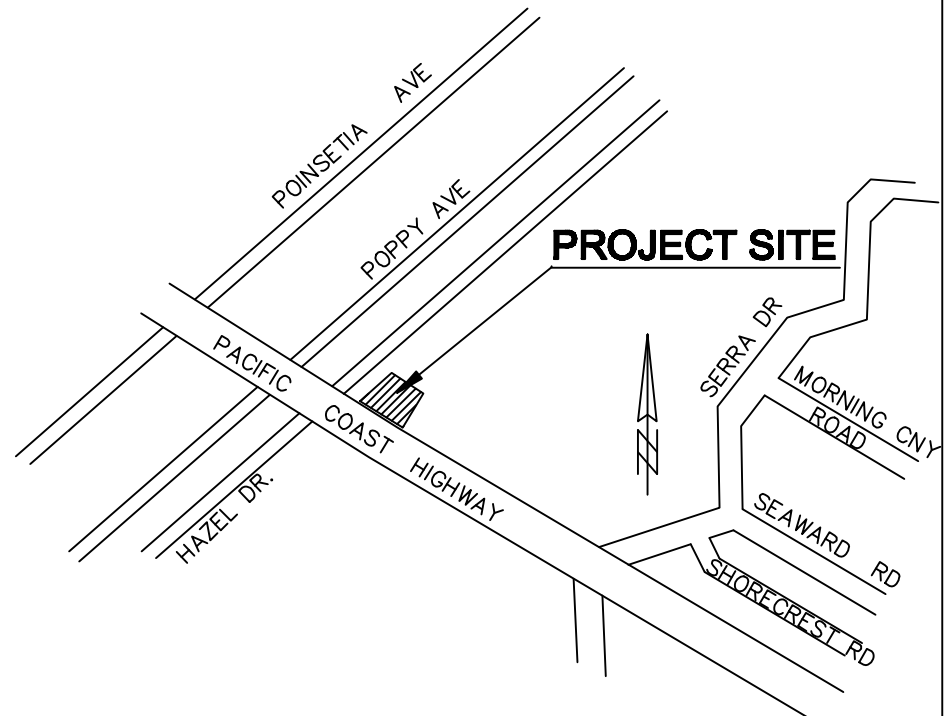
JAIME MURILLO :: ASSOCIATE PLANNER
PLANNING DIVISION :: COMMUNITY DEVELOPMENT DEPARTMENT
CITY OF NEWPORT BEACH
3300 NEWPORT BOULEVARD, NEWPORT BEACH, CA 92658
PH. (949) 644-3209 :: FAX (949) 644-3229
jmurillo@newportbeachca.gov
<http://www.newportbeachca.gov>

TENTATIVE TRACT MAP NO. 17386

BEING A SUBDIVISION OF LOTS 54, 55, 56, 57 AND 58 IN BLOCK "B" OF TRACT NO. 673, IN THE CITY OF NEWPORT BEACH, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 20, PAGES 17 & 18 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LOT 1 IS FOR CONDOMINIUM PURPOSES

OCTOBER, 2012



VICINITY MAP
N.T.S.

NOTES:

USES:
LOT 54 IS OCCUPIED BY A RESTAURANT
LOTS 55, 56, 57 AND 58 ARE VACANT

EXISTING ZONING:
LOT 54 IS ZONED CC (COMMERCIAL CORRIDOR)
LOTS 55, 56, 57 AND 58 ARE ZONED RM (MULTI UNIT RESIDENTIAL)

PROPOSED ZONING:
SAME AS EXISTING

FLOOD AREA: "X"
AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN

FIRE AREA: VHFHSZ
VERY HIGH FIRE HAZARD SAFETY ZONE

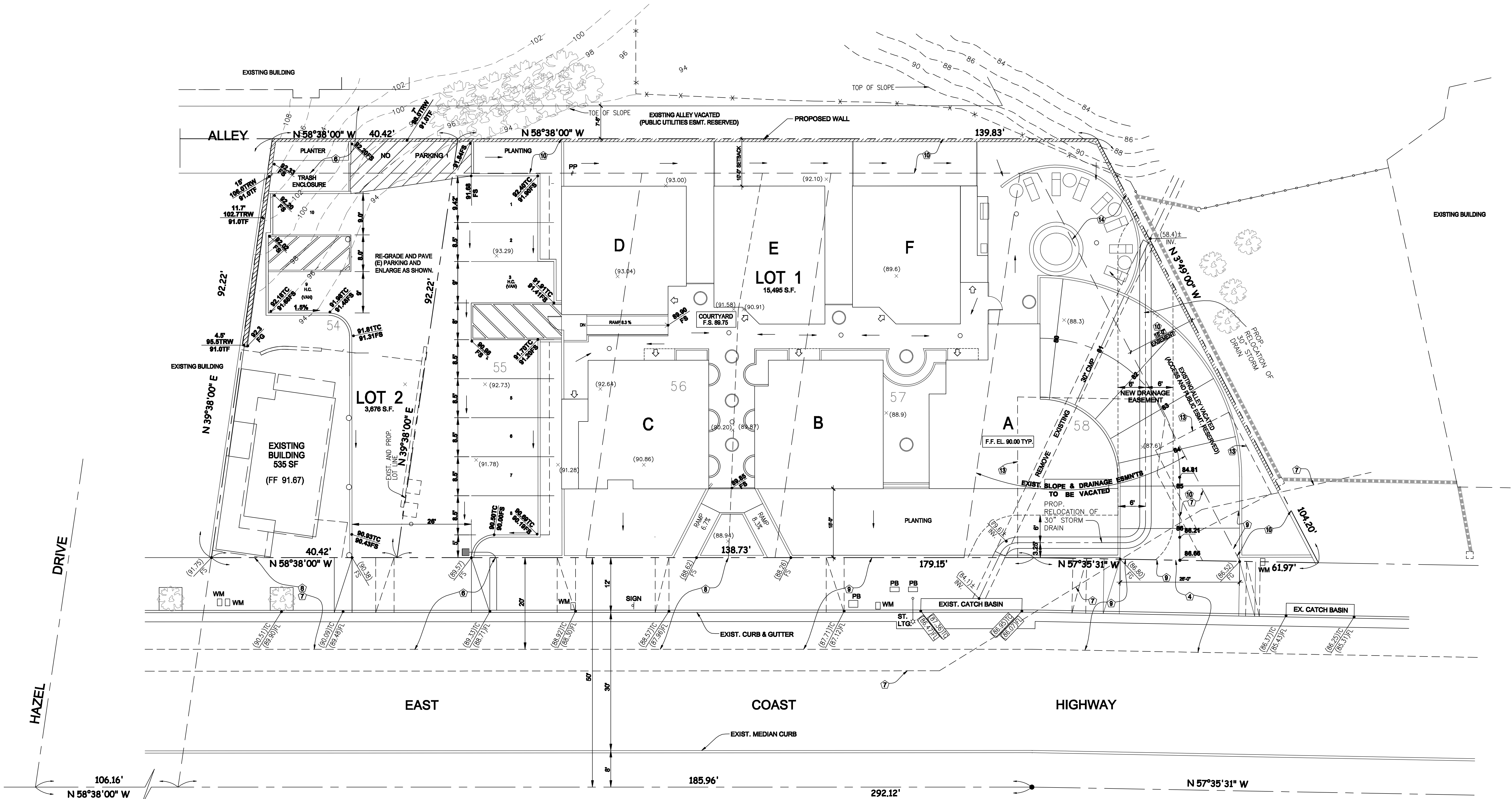
OWNER / SUBDIVIDER:

MAGDI HANNA
3345 NEWPORT BLVD.
NEWPORT BEACH, CA 92663
PHONE (949) 723-2000

MAP PREPARER:

JRV ENGINEERING
22959 LA CADENA DR.
LAGUNA HILLS, CA 92653
(714) 734-0728

JUSTO R. VILLAR RCE 25801



- LOT 54 -
- 4 - EASEMENT FOR THE PURPOSES OF EITHER OR BOTH POLE LINES, CONDUITS AND INCIDENTAL PURPOSES FOR LOT 54, RECORDED IN BOOK 24 PAGE 304, ON MARCH 10, 1927 OF OFFICIAL RECORDS.
 - 6 - THE RIGHT OF THE STATE OF CALIFORNIA FOR THE PURPOSES OF PUBLIC HIGHWAY AND INCIDENTAL PURPOSES FOR LOT 54, RECORDED IN BOOK 977 PAGE 891, ON FEBRUARY 07, 1939 OF OFFICIAL RECORDS.
 - 4 - THE RIGHT OF THE STATE OF CALIFORNIA FOR THE PURPOSES OF PUBLIC HIGHWAY AND INCIDENTAL PURPOSES, RECORDED IN BOOK 589 PAGE 102, ON JANUARY 13, 1925 OF OFFICIAL RECORDS.
 - 7 - EASEMENT FOR THE IRVINE COMPANY FOR THE PURPOSES OF PIPELINE AND INCIDENTAL PURPOSES FOR LOT 58, RECORDED IN BOOK 58 PAGE 65, ON MAY 27, 1927 OF OFFICIAL RECORDS.
 - 8 - THE RIGHT OF THE STATE OF CALIFORNIA FOR THE PURPOSES OF PUBLIC HIGHWAY AND INCIDENTAL PURPOSES, IN BOOK 875 PAGE 440; IN BOOK 875 PAGE 441, ON JANUARY 16, 1939 ALL OF OFFICIAL RECORDS.
 - 9 - THE RIGHT OF THE STATE OF CALIFORNIA TO EXTEND OVER RIGHT OF WAY FOR THE PURPOSES OF SLOPE, DRAINAGE AND INCIDENTAL PURPOSES LOTS 57 AND 58, RECORDED IN BOOK 2716 PAGE 48, ON APRIL 26, 1954 OF OFFICIAL RECORDS.
 - 10 - EASEMENT FOR THE LAGUNA BEACH COUNTY WATER DISTRICT FOR THE PURPOSES OF PIPELINE AND INCIDENTAL PURPOSES, RECORDED IN BOOK 2882 PAGE 216, ON NOVEMBER 06, 1954 OF OFFICIAL RECORDS.
 - 11 - EASEMENT FOR THE CITY OF NEWPORT BEACH FOR THE PURPOSES OF PUBLIC ALLEY AND INCIDENTAL PURPOSES FOR LOT 58, RECORDED IN BOOK 6283 PAGE 227, ON SEPTEMBER 16, 1982 OF OFFICIAL RECORDS.
 - 13 - QUITCLAIM DEED EASEMENT RIGHTS TO AUTO 8PA OF CORONA DEL MAR INC., AS INSTRUMENT No. 97-25769, ON JANUARY 17, 1987 OF OFFICIAL RECORDS.
 - 14 - RESOLUTION No. 98-04, EXECUTED BY CITY OF NEWPORT BEACH AS INSTRUMENT No. 947392, ON SEPTEMBER 25, 1998 OF OFFICIAL RECORDS - FOR THE VACATION OF ALLEYS ON LOTS 55, 56, 57 AND 58.



1" = 10'

LIST OF ABBREVIATIONS

ABanchor bolt

ABVabove

A/Cair conditioning

ACCaccess

ACOUSacoustical

ACRacrylic plastic

ACTacoustic tile

ADarea drain

ADDaddendum

ADJadhesive

ADJadjacent

ADJUSTadjustable

AFabove finished floor

AGGaggregate

ALUMaluminum

ALTalternate

ANCHanchor

ANODanodized

APaccess panel

APPROXapproximate

ARCHarchitect

ASBastbestos

ASCabove susp. ceiling

ASPHasphalt

ASSYassembly

AUTOasphalt tile

BCbottom of concrete

BDboard

BELbelow

BETbetween

BLDGbuilding

BLKblock

BLKGblocking

BMBeam

BOCAbldg etc & code admin

BOTbottom

BRKbrick

BRZbronze

BSboth sides

BWBivel

BTboth ways

CABcabinet

CBcatch basin

CEMcement

CCceramic

CFLcounter flasing

CFcubic foot

CGcorner guard

CHAMchamfer

CHTceiling height

CHTcast iron

CIPCcast-in-place conc

CIRCcircle

CLcircumference

CLceiling joist

CLcenter line

CLGceiling

CLLcontract line limit

CLRclear

CLSclose, closure

CMcentimeter

COconc masonry unit

COcased opening

COLcolumn

COMBcombination

COMPOcomposition

CONCconcrete

CONNconnector

CONSTconstruction

CONTcontinuous

CONTRcontractor

CORRcorridor

CPCopper

CPTcasing

CSMTcast stone

CTceramic tile

CTCcounter

CTSKcountersink

CYDcubic yard

Ddrain

DAdouble acting

DEMdemolition

DEPdepressed

DEPTdepartment

DETdetail

DFdrinking fountain

DIAIdiameter

DIMdiagonal

DIMdimension

DISPdispenser

DIVdivision

DHdead load

DNdown

DPdampproofing

DRdampner

DRdoor

DRWRdrawer

DSDownspout

DWdumbwater

Eeast

E(E)existing

EBeach

ELEVelevation

ELEVelectrical

ELEVemergency

ENCenclosure

EQequal

EQUIPequipment

ESCescalator

ESTestimate

EXHExhaust

EXPexposed

EXTexterior

FAfire alarm

FASfastener

FBDfloorboard

FBRKfire brick

FDFDfloor drain

FDFEfire extinguisher

FDFECfire extinguisher cab

FDFEFfinished floor

GLflashing

FHShire hose station

FINfinish

FIRradius

FLGflashing

FLRfloor

FLRGreflected ceilg plan

FLUORfluorescent

FLXflexible

FNFence

FNDFoundation

FNOfinished opening

FOCface of concrete

FOPface of finish

FOMface of masonry

FOSface of stud

FPTfreepool

FPLfloor plate

FPLCfireplace

FRCframe

FRTfire resist coating

FRTfire retardant

FRTfull size

FRTturning

FURfurring

GAguage

GALVgalvanized

GCgeneral contractor

GDgrade

GIgalvanized iron

GRgrain

GRVLgravel

GROUTgrout

GYPBGypsum board

HBhose bib

HChollow core

HRCheader

HDHWhardware

HMHollow metal

HORIZhorizontal

HTOheight

HVAChtg. vent, air cond

HWDhardwood

IDinside diameter

INCLincluded

INSinsulation

INTinterior

INVinvert

JBOXjoist

JTjunction box

JTjoint

KITKitchen

KOKnock out

KPLkick plate

LABlength

LADlaboratory

LADladder

LAMLaminat

LAVlavatory

LBlag bolt

LBLlabel

LClight control

LTlive load

LTlive point

LTlight

LTinlet

LVLower

LVGvertical grain

LVVinyl

VNRVermiculite

VNTVinyl tile

WWest

Wwidth

Wwith

WCwood base

WCwater closet

WDwood

WDMembrane

Wmetal

WHwall hung

WIWrought iron

WINWindow

WMWire mesh

WOWireout

WRWaterproofing

WRWater repellent

WSWater stop

WSCTWainscot

WTWwall to wall

WWFwelded wire fabric

OMover

OADoverall

OCOn center

ODoutside diameter

OFOffice

OHOverhead

OPGOpening

OPPOpposite

OWJOpen web joist

RAriser

RADreturn air

R902SF

RBRB rubber base

RBT ratbet

RCPreflected

RDRoof drain

REFreference

REFRrefrigerator

REGregister

REMRemove

RESresilient

RETVrevision

RFGroofing

RFLreflector

RHright hand

RMRoom

ROWrough opening

RVSright of way

RVSreverse

RVTrivet

Ssouth

SBCCIa bldg code congress

SCsolid core

SCHschedule

SCNScreen

SDstorm drain

SECTsection

SFSquare foot

SHTshelving

SHSheet

SHGLsheathing

SHIMsimilar

SKLskylight

SLsleeve

SPCspacer

SPESpecification

SQsquare

SQStainless steel

STsteel

STAtation

STDstandard

STGseating

STOstorage

STRStructural

SUSsuspended

SYNSynthetic

SYNSystem

Ttread

TCterra cotta

TEtelephone

T>ongue & groove

THKthickness

THRthreshold

TOSTop of slab

TOWTop of wall

TRtransom

TVTelevision

TZtypical

TZterrazzo

UBCuniform bldg code

UNOunless noted otherwise

VARvarnish

VBvapor barrier

VERTvertical

VGvertical grain

VINVinyl

VNRVermiculite

VNTVinyl tile

WWest

Wwidth

Wwith

WCwood base

WCwater closet

WDwood

WDMembrane

Wmetal

WHwall hung

WIWrought iron

WINWindow

WMWire mesh

WOWireout

WRWaterproofing

WRWater repellent

WSWater stop

WSCTWainscot

WTWwall to wall

WWFwelded wire fabric

Mmeter

MASmasonry

MAXmaximum

MBmachine bolt

MRCmember

MCmedicine cabinet

MECHmechanical

MEMmedium

MEMMembrane

METmetal

MFRmanufacturer

MHmanhole

MINminimum

MIRmirror

MISCmiscellaneous

MLD molding

MMmillimeter

MOMasonry opening

MODmodular

MTmounted

MTLmaterial

MULLmullion

MWKmillwork

Nnorth

NATnatural

NICnot in contract

NOMnominal

NRnoise reduction

NRCnoise reduction coefficient

NTSnot to scale

PROJECT DATA DETACHED CONDOMINIUMS - LOT 1

ZONE: RM

DWELLINGS OCCUPANCY R-2. CONSTRUCTION TYPE: V-B FULLY SPRINKLERED

BASEMENT GARAGE: OCCUPANCY S-2. CONSTRUCTION TYPE: I-A FULLY SPRINKLERED

SETBACKS:

PROPOSED FRONT: 15 FT.

SIDE: 8% OF AVERAGE LOT WIDTH (146 + 195)/2 = 170.5 X .08 = 13' - 8"

REAR: 10 FT.

HEIGHT LIMIT:

28 FT. FOR FLAT ROOFS, 33 FT. FOR SLOPED ROOFS (MIN. 3:12)

REQUIRED PARKING:

UNITS REQUIRED: 2 PER UNIT

PROVIDED: 12

(200 SQ. FT. AREA CREDIT FOR EACH ENCLOSED

REQUIRED PARKING SPACE: 200 X 11 = 2,200 SQ. FT. CREDIT.)

GUEST REQUIRED: 0.5 PER UNIT X 6= 3

GUEST PARKING PROVIDED: 2 STD. SUBTERRANEAN

PLUS 1 HG VAN ACCESSIBLE AT GROUND FLOOR

AREAS:

PROPERTY: 15,495 S.F.

SET BACKS: 6,320 S.F.

BUILDABLE: 9,175 S.F.

ALLOWABLE AREA: 1,50 X 9,175 = 13,762 S.F.

PROPOSED:

UNIT A:

1st FLOOR 955 SF

2nd FLOOR 800 SF

THIRD FLOOR 2,657 SF

TOTAL LIVING: 115 SF

GARAGE (- 400 S.F.)

TOTAL: 2,772 SF

UNIT B:

1st FLOOR 743 SF

2nd FLOOR 650 SF

THIRD FLOOR 626 SF

TOTAL LIVING: 2,019 SF

GARAGE (- 400 S.F.)

TOTAL: 2,134 SF

UNIT C (HANDICAP ACCESSIBLE)

1st FLOOR 731 SF

2nd FLOOR 728 SF

THIRD FLOOR 731 SF

TOTAL LIVING: 2,188 SF

GARAGE (- 200 S.F.)

TOTAL: 2,503 SF

UNIT D:

1st FLOOR 710 SF

2nd FLOOR 841 SF

THIRD FLOOR 642 SF

TOTAL LIVING: 1,993 SF

GARAGE (- 400 S.F.)

TOTAL: 2,108 SF

UNIT E:

1st FLOOR 672 SF

2nd FLOOR 580 SF

THIRD FLOOR 568 SF

TOTAL LIVING: 1,808 SF

GARAGE (- 400 S.F.)

TOTAL: 1,923 SF

UNIT F:

1st FLOOR 654 SF

2nd FLOOR 683 SF

THIRD FLOOR 683 SF

TOTAL LIVING: 2,020 SF

GARAGE (-400 S.F.)

TOTAL: 2,135 SF

TOTAL UNITS AREA: 13,575 SF

GARAGE STAIRS 128 SF

TOTAL AREA: 13,703 SF

BASEMENT AREA: 6,649 SF

NOTE: 3,311 S.F. GUEST PARKING AND VEHICULAR AISLES NOT INCLUDED.

COMMON OPEN SPACE REQUIRED: 75 SF PER UNIT

6 X 75 = 450 SF

COMMON OPEN SPACE PROVIDED: 533 SF (OUTSIDE SETBACK AREAS)

PRIVATE OPEN SPACE REQUIRED: 5% OF UNIT GROSS FLOOR AREA

INDIVIDUAL OPEN SPACE PROVIDED: SEE TABULATION, SHEET A-1

PROPOSED COVERED TRASH ENCLOSURE AREA: 56 SF

PROJECT DATA OFFICE BUILDING - LOT 2

ZONE: CC

OCCUPANCY: B

CONSTRUCTION TYPE: V-B FULLY SPRINKLERED

SETBACKS:

FRONT: 0 FT.

SIDES: 0'

REAR: 5 FT. ADJACENT TO RESIDENTIAL

HEIGHT LIMIT:

32' FOR FLAT ROOF

OFFICE: 1/250

2,180 SF / 250 = 9 SPACES

GALLO'S DELI: NONE (SPECIALTY FOOD PERMIT # 38, 08-15-1995)

PROVIDED: 9 SPACES, INCLUDING 1 HANDICAP VAN ACCESSIBLE

F.A.R.: 0.75'

PROPERTY: 3,676 SF

MAXIMUM BUILDABLE: 3,676 SF x 0.75 = 2,757 SF

PROPOSED BUILDING AREA: 2,695 SF

PROPOSED COVERED TRASH ENCLOSURE AREA: 56 SF

CODES

GOVERNING AGENCIES & CODES

COMPLY FULLY WITH 2010 CRC, 2010 CPC, 2010 CEC, 2010 CMC, 2008 BUILDING ENERGY EFFICIENCY STANDARDS (BEES), & 2010 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)

GENERAL NOTES

GENERAL REQUIREMENTS:

1. NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND/OR WRITTEN CONSENT OF THE ARCHITECT

2. DIMENSIONS AS INDICATED ARE THE DIMENSIONS TO BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS

3. IN THE EVENT THAT THE OWNER SHOULD DECIDE NOT TO EMPLOY THE SERVICES OF A GENERAL CONTRACTOR, THE OWNER THEN ACCEPTS ALL OF THE RESPONSIBILITIES OF THE GENERAL CONTRACTOR AND THE IMPLEMENTATION OF THE WORK AS SPECIFIED IN THE FOLLOWING NOTES AND IN THE CONSTRUCTION DOCUMENTS.

4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL LOCAL AND/OR CITY BUILDING CODES.

5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS.

6. ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODE AND WITH OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIAL OR BOTH TO BRING TO THE ATTENTION OF THE ARCHITECT AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE CODE AND THE DRAWINGS.

7. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.

8. ALL RUBBISH AND DEBRIS RESULTING FROM DEMOLITION AND/OR NEW CONSTRUCTION SHALL BE DISPOSED OF OFF SITE AND SHALL NOT BE ALLOWED TO ACCUMULATE.

9. ALL DIMENSIONS TO NEW CONSTRUCTION ARE TO FACE OF CONCRETE, FACE OF CMU, CENTERLINE OF COLUMNS AND BEAMS OR FACE OF STUDS, UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB OR TOP OF INTERIOR PAVING, UNLESS NOTED OTHERWISE. CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACES, UNLESS NOTED OTHERWISE.

10. WOOD FRAMING MAY BE USED IN LIEU OF METAL FRAMING WHERE CODE ALLOWS.

11. DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY ALL CONTRACTORS. IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO EXAMINE THE EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS TO THE OWNER. PROPOSALS MUST TAKE INTO CONSIDERATION ALL SUCH CONDITIONS THAT MAY AFFECT THE WORK. DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT AND TO THE OWNER PRIOR TO THE COMMENCEMENT OR CONTRIATION OF ANY PHASE OR INSTALLATION OF THIS PROJECT. ALL DIMENSIONS ARE TO BE ROUGH UNLESS NOTED OTHERWISE.

12. THE CIVIL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. ANY DISCREPANCY BETWEEN THE ARCHITECT'S DRAWINGS AND THE CONSULTING ENGINEER'S DRAWINGS AND SPECIFICATIONS THAT CAUSES A CONFLICT, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO THE INSTALLATION OF SAID WORK.

13. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL PADS AND BASES AS WELL AS POWER, WATER AND DRAIN INSTALLATIONS WITH THE EQUIPMENT MANUFACTURER'S BEFORE PROCEEDING WITH WORK. CHANGES TO ACCOMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE WITHOUT ADDITIONAL CHARGE TO THE OWNER.

14. CONTRACTOR SHALL PROVIDE AND INSTALL ALL CONCRETE HOUSEKEEPING PADS AND PLATFORMS FOR MECHANICAL AND ELECTRICAL EQUIPMENT AS REQUIRED.

15. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, STAIR RAILINGS, TOILET ROOM ACCESSORIES AND PARTITIONS, AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENT.

16. REFERENCE TO ANY DETAIL OR DRAWING ARE FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWING.

17. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING ABBREVIATIONS OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.

18. ALL METAL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATIONS BY OTHER TRADES WITH A MINIMUM OF CUTTING.

19. OFFSET STUDS WHERE REQUIRED TO ACHIEVE A FLUSH FINISH WALL SURFACE.

20. INSTALL METAL CORNER GUARDS AT ALL EXPOSED WALL BOARD EDGES. INSTALL CASING BEADS WHEREVER WALLBOARD, PLASTER, ETC. ABUTS A DISSIMILAR FINISH MATERIAL AND PROVIDE SEALANT AS REQUIRED.

21. CONTACT BETWEEN DISSIMILAR METALS SHALL BE PROTECTED.

SYMBOLS

ELEVATION REFERENCE

SHEET NUMBER

SECTION REFERENCE

SHEET NUMBER

DETAIL REFERENCE

SHEET NUMBER

DOOR REFERENCE

WINDOW REFERENCE

REVISION REFERENCE

ROOM NUMBER

REFERENCE

+7'-0"

HEIGHT

A.F.F.

ABOVE FINISH FLOOR

SHEET INDEX

SHEET DESCRIPTION

ARCHITECTURAL

T-1 COVER SHEET

SU-1 TOPOGRAPHIC SURVEY

SU-2 WETLAND DISTANCES TO BUILDINGS

TTM TENTATIVE TRACT MAP

G-1 PRELIMINARY GRADING PLAN GENERAL NOTES

G-2 PRELIMINARY GRADING & DRAINAGE PLAN, STREET LEVEL

G-3 PRELIMINARY GRADING & DRAINAGE PLAN, BASEMENT LEVEL

SDR.1 EXISTING STORM DRAIN RELOCATION PLAN

A-1 SITE PLAN

A-1.1 ASSUMED EXISTING GRADE

A-2 BASEMENT GARAGE / CONDOMINIUMS FIRST FLOOR

A-3 CONDOMINIUMS SECOND FLOOR AND THRD FLOOR

A-4 CONDOMINIUMS ROOF PLAN

A-5 EXTERIOR ELEVATIONS

A-6 EXTERIOR ELEVATIONS & SECTIONS

A-FA FLOOR AREA CALCULATION

A-GS EXISTING AND PROPOSED GALLO'S SEATING ARRANGEMENT

L-1 PRELIMINARY LANDSCAPE PLAN

MARCELO E. LISCHÉ Architect A.I.A.

CLIENT: MR. MAGDI HANNA 3345 NEWPORT BLVD. NEWPORT BEACH, CA. 92663

PROJECT: PLAZA CORONA DEL MAR MIXED USE PROJECT 3918 E. COAST HIGHWAY CORONA DEL MAR, CA. 92625

SHEET TITLE: COVER SHEET

THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY AND COPYRIGHT OF MARCELO E. LISCHÉ, ARCHITECT, A.I.A. AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT. WRITTEN DIMENSIONS SHALL SUPERSEDE SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOBSITE. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK. MARCELO E. LISCHÉ, ARCHITECT, A.I.A., ALL RIGHTS RESERVED.

JOB #: 85010109

DRAWN BY: P.L.

CHECKED BY: M.L.

SCALE: N.T.S.

DATE: 09-10-12

REVISIONS:

T-1 OF SHEETS

CLIENT:
MR. MAGDI HANNA
3345 NEWPORT BLVD.
NEWPORT BEACH, CA. 92663

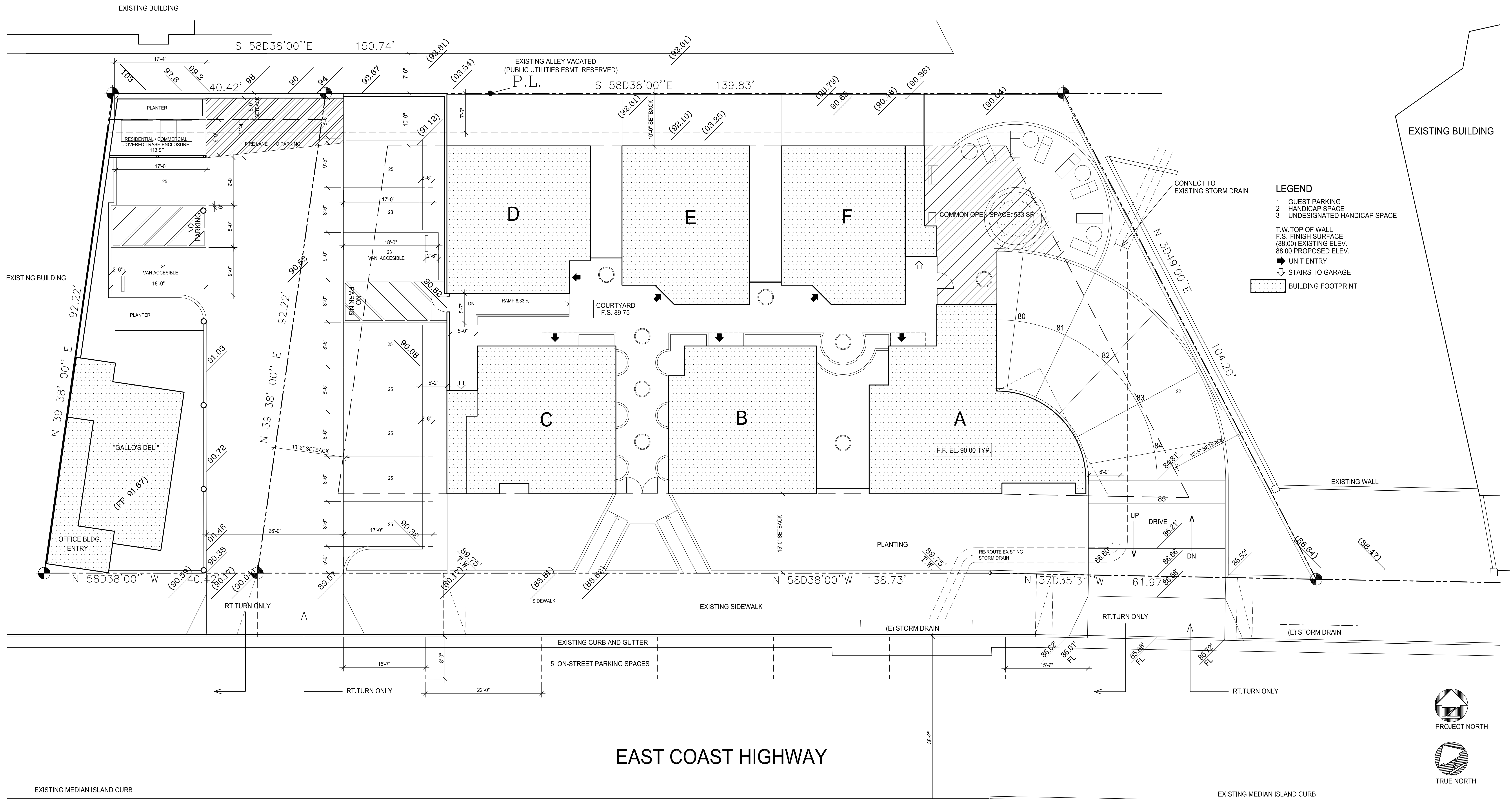
PROJECT:
PLAZA CORONA DEL MAR
MIXED USE PROJECT
3918 E. COAST HIGHWAY
CORONA DEL MAR, CA. 92625

SHEET TITLE:
SITE PLAN

THESE DRAWINGS AND SPECIFICATIONS ARE THE
SOLE PROPERTY AND COPYRIGHT OF MARCELO E.
LISCHE, ARCHITECT, A.I.A. AND SHALL NOT BE USED
ON ANY OTHER WORK EXCEPT BY WRITTEN
AGREEMENT WITH THE ARCHITECT. WRITTEN
DIMENSIONS SHALL SUPERSEDE SCALED
DIMENSIONS AND SHALL BE VERIFIED ON THE
JOB SITE. ANY DISCREPANCIES SHALL BE
IMMEDIATELY BROUGHT TO THE ATTENTION OF THE
ARCHITECT PRIOR TO
THE COMMENCEMENT OF ANY WORK.
MARCELO E. LISCHÉ, ARCHITECT, A.I.A. ALL RIGHTS
RESERVED.

JOB #: 85010109
DRAWN BY: P.L.
CHECKED BY: M.L.
SCALE: 1/8"=1'-0"
DATE: 03-19-12

REVISIONS:
△
△
△
△
△
△
△
△
△
△



OFFICE BUILDING - LOT 2

ZONE: CC OCCUPANCY TYPE B CONSTRUCTION TYPE V-B
FULLY SPRINKLERED

SETBACKS:
FRONT: 0 FT.
SIDES: 0 FT.
REAR: 5' FT. ADJACENT TO RESIDENTIAL

HEIGHT LIMIT:
32' FOR FLAT ROOF

OFFICE: 1/250 2,160 SF / 250 = 9 SPACES
GALLO'S DELI: NONE (SPECIALTY FOOD PERMIT # 38, 05-08-1995)
PROVIDED: 9 SPACES, INCLUDING 1 HANDICAP VAN ACCESSIBLE

F.A.R.: 0.75'
PROPERTY: 3,676 SF
MAXIMUM BUILDABLE: 3,676 SF x 0.75 = 2,757 SF
PROPOSED BUILDING AREA: 2,695 SF
PROPOSED COVERED TRASH ENCLOSURE AREA: 56 SF

DETACHED CONDOMINIUMS - LOT 1

ZONE: RM

DWELLINGS: OCCUPANCY R-2 CONSTRUCTION TYPE: V-B FULLY SPRINKLERED
GARAGE: OCCUPANCY TYPE S-2 CONSTRUCTION TYPE I-A
FULLY SPRINKLERED

SETBACKS:
PROPOSED FRONT: 15 FT.
SIDE: 8% OF AVERAGE LOT WIDTH (146 + 195)/2 = 170.5 X .08 = 13' - 8"
REAR: 10 FT.

HEIGHT LIMIT:
28 FT. FOR FLAT ROOFS, 33 FT. FOR SLOPED ROOFS (MIN. 3:12)

REQUIRED PARKING:
UNITS REQUIRED: 2 PER UNIT
PROVIDED: 12
(200 SQ. FT. AREA CREDIT FOR EACH ENCLOSED
REQUIRED PARKING SPACE: 200 X 11 = 2,200 SQ. FT. CREDIT.)

GUEST REQUIRED: 0.5 PER UNIT X 6 = 3
GUEST PARKING PROVIDED: 2 STD. SUBTERRANEAN
PLUS 1 HC VAN ACCESSIBLE AT GROUND FLOOR

AREAS:
PROPERTY: 15,495 S.F.
SET BACKS: - 6,320 S.F.
BUILDABLE: 9,175 S.F.

ALLOWABLE AREA: 1.50 X 9,175 = 13,762 S.F.

UNIT A:	
1st FLOOR	955 SF
2nd FLOOR	902 SF
THIRD FLOOR	800 SF
TOTAL LIVING:	2,657 SF
GARAGE (- 400 S.F.)	115 SF
TOTAL:	2,772 SF
PRIVATE OPEN SPACE:	315 SF (11.85 %)

UNIT B:	
1st FLOOR	743 SF
2nd FLOOR	650 SF
THIRD FLOOR	626 SF
TOTAL LIVING:	2,019 SF
GARAGE (- 400 S.F.)	115 SF
TOTAL:	2,134 SF
PRIVATE OPEN SPACE:	158 SF (7.82 %)

UNIT C: (HANDICAP ACCESSIBLE)	
1st FLOOR	731 SF
2nd FLOOR	726 SF
THIRD FLOOR	731 SF
TOTAL LIVING:	2,188 SF
GARAGE (- 200 S.F.)	315 SF
TOTAL:	2,503 SF
PRIVATE OPEN SPACE:	158 SF (7.22 %)

UNIT D:	
1st FLOOR	710 SF
2nd FLOOR	641 SF
THIRD FLOOR	642 SF
TOTAL LIVING:	1,993 SF
GARAGE (- 400 S.F.)	115 SF
TOTAL:	2,108 SF
PRIVATE OPEN SPACE:	458 SF (22.98 %)

UNIT E:	
1st FLOOR	672 SF
2nd FLOOR	568 SF
THIRD FLOOR	568 SF
TOTAL LIVING:	1,808 SF
GARAGE (- 400 S.F.)	115 SF
TOTAL:	1,923 SF
PRIVATE OPEN SPACE:	456 SF (25.22 %)

UNIT F:	
1st FLOOR	654 SF
2nd FLOOR	683 SF
THIRD FLOOR	683 SF
TOTAL LIVING:	2,020 SF
GARAGE (- 400 S.F.)	115 SF
TOTAL:	2,135 SF
PRIVATE OPEN SPACE:	272 SF (13.46 %)

TOTAL UNIT AREA:	13,575 SF
GARAGE STAIRS	128 SF
TOTAL AREA:	13,703 SF

BASEMENT AREA: 6,649 SF
NOTE: 3,311 S.F. GUEST PARKING AND VEHICULAR
AISLES NOT INCLUDED.

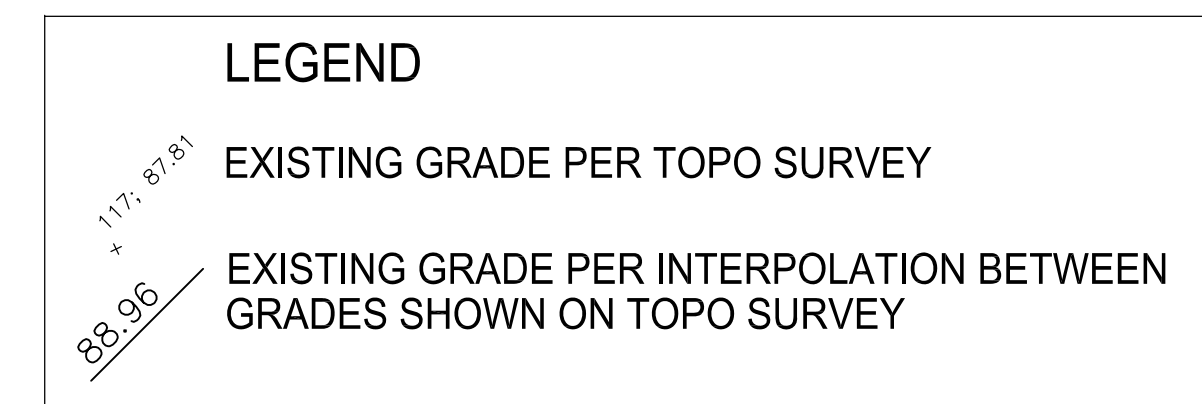
COMMON OPEN SPACE REQUIRED: 75 SF PER UNIT
6 X 75 = 450 SF
COMMON OPEN SPACE PROVIDED: 533 SF (OUTSIDE SETBACK AREAS)

PRIVATE OPEN SPACE REQUIRED: 5% OF UNIT GROSS FLOOR AREA

PROPOSED COVERED TRASH ENCLOSURE AREA: 56 SF

HORIZONTAL ASSEMBLY BETWEEN BASEMENT GARAGE (TYPE I-A) AND
CONDOMINIUMS ABOVE (TYPE V-B), SHALL BE MINIMUM 3 HR. AND COMPLY
CBC 508.4, 509.2, 509.4 AND TABLE 601

A-1.1



CLIENT:
MR. MAGDI HANNA
3345 NEWPORT BLVD.
NEWPORT BEACH, CA. 92663

PROJECT:
PLAZA CORONA DEL MAR
MIXED USE PROJECT
3918 E. COAST HIGHWAY
CORONA DEL MAR, CA. 92625

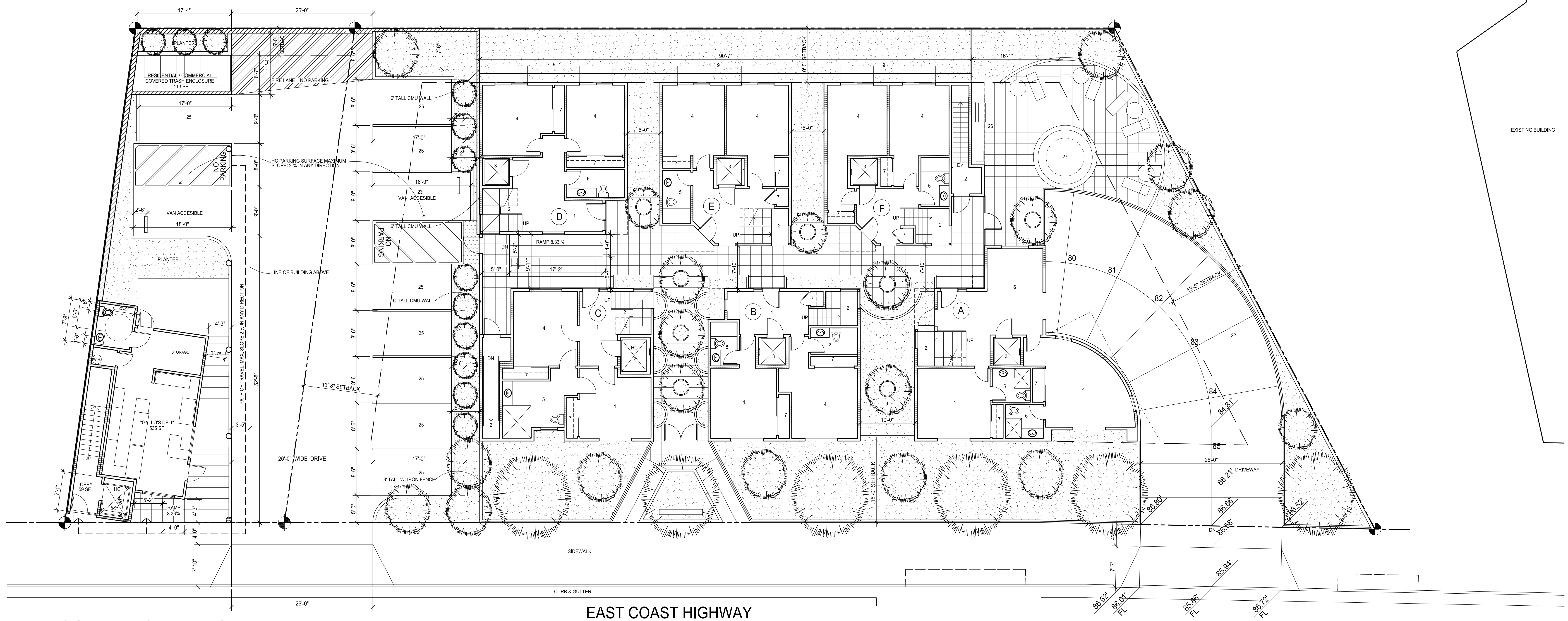
SHEET TITLE:
BASEMENT GARAGE &
FIRST FLOOR PLAN

THESE DRAWINGS AND SPECIFICATIONS ARE THE
SOLE PROPERTY AND COPYRIGHT OF MARCELO E.
LISCHE, ARCHITECT, A.I.A. AND SHALL NOT BE USED
ON ANY OTHER WORK EXCEPT BY WRITTEN
AGREEMENT WITH THE ARCHITECT. WRITTEN
DIMENSIONS SHALL SUPERSEDE SCALED
DIMENSIONS AND SHALL BE VERIFIED ON THE
JOB SITE. ANY DISCREPANCIES SHALL BE
IMMEDIATELY BROUGHT TO THE ATTENTION OF THE
ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.
MARCELO E. LISCHÉ, ARCHITECT, A.I.A., ALL RIGHTS
RESERVED.

JOB #: 850110109
DRAWN BY: P.L.
CHECKED BY: M.L.
SCALE: 1/8"=1'-0"
DATE: 03-19-12

REVISIONS:

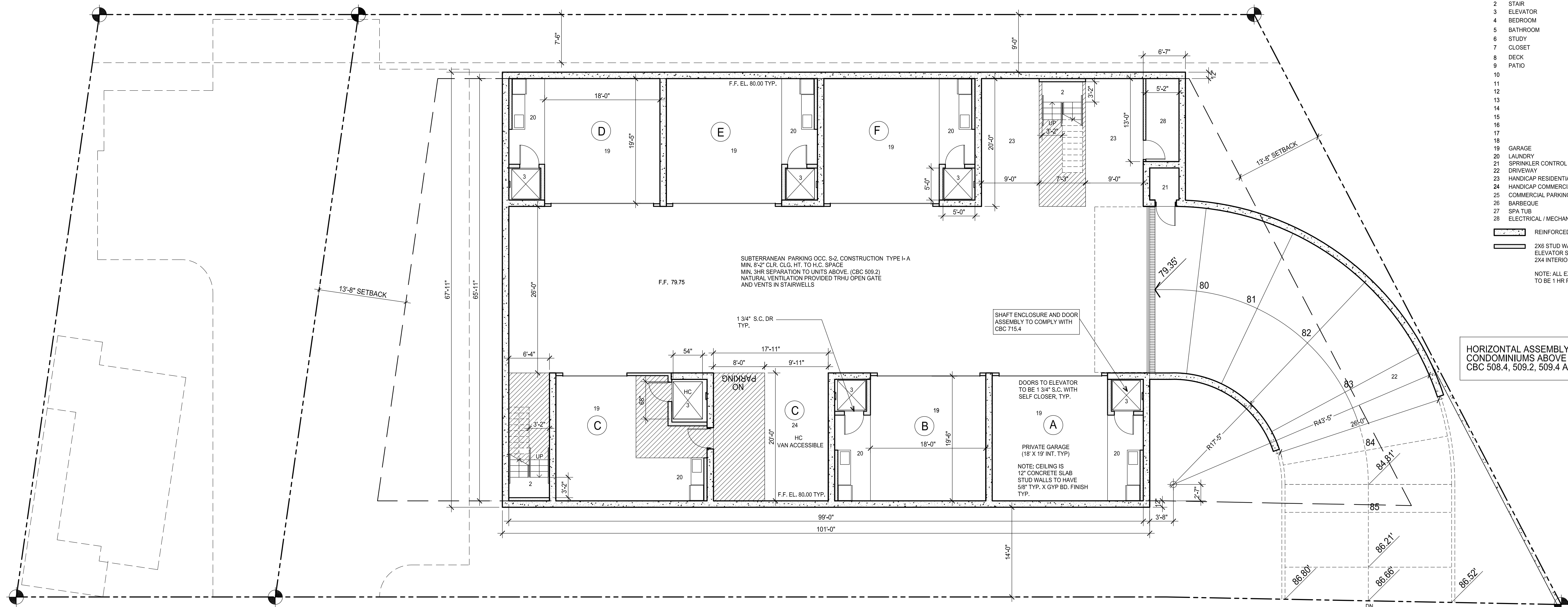
△	
△	
△	
△	
△	
△	
△	



COMMERCIAL FIRST LEVEL

EAST COAST HIGHWAY

DETACHED CONDOMINIUMS FIRST LEVEL



BASEMENT GARAGE

CLIENT:
MR. MAGDI HANNA
3345 NEWPORT BLVD.
NEWPORT BEACH, CA. 92663

PROJECT:
PLAZA CORONA DEL MAR
MIXED USE PROJECT
3918 E. COAST HIGHWAY
CORONA DEL MAR, CA. 92625

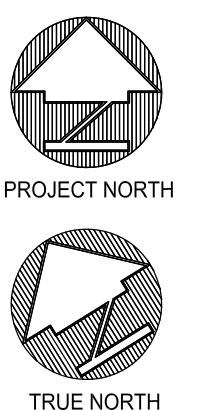
SHEET TITLE:
SECOND & THIRD FLOOR PLAN

THESE DRAWINGS AND SPECIFICATIONS ARE THE
SOLE PROPERTY AND COPYRIGHT OF MARCELO E.
LISCHE ARCHITECT, A.I.A. AND SHALL NOT BE USED
ON ANY OTHER WORK EXCEPT BY WRITTEN
AGREEMENT WITH THE ARCHITECT. WRITTEN
DIMENSIONS SHALL SUPERSEDE SCALED
DIMENSIONS AND SHALL BE VERIFIED ON THE
JOB SITE. ANY DISCREPANCIES SHALL BE
IMMEDIATELY BROUGHT TO THE ATTENTION OF THE
ARCHITECT PRIOR TO
THE COMMENCEMENT OF ANY WORK.
MARCELO E. LISCHÉ, ARCHITECT, A.I.A. ALL RIGHTS
RESERVED.

JOB #: 850101019
DRAWN BY: P.L.
CHECKED BY: M.L.
SCALE: 1/8"=1'-0"
DATE: 03-10-12

REVISIONS:

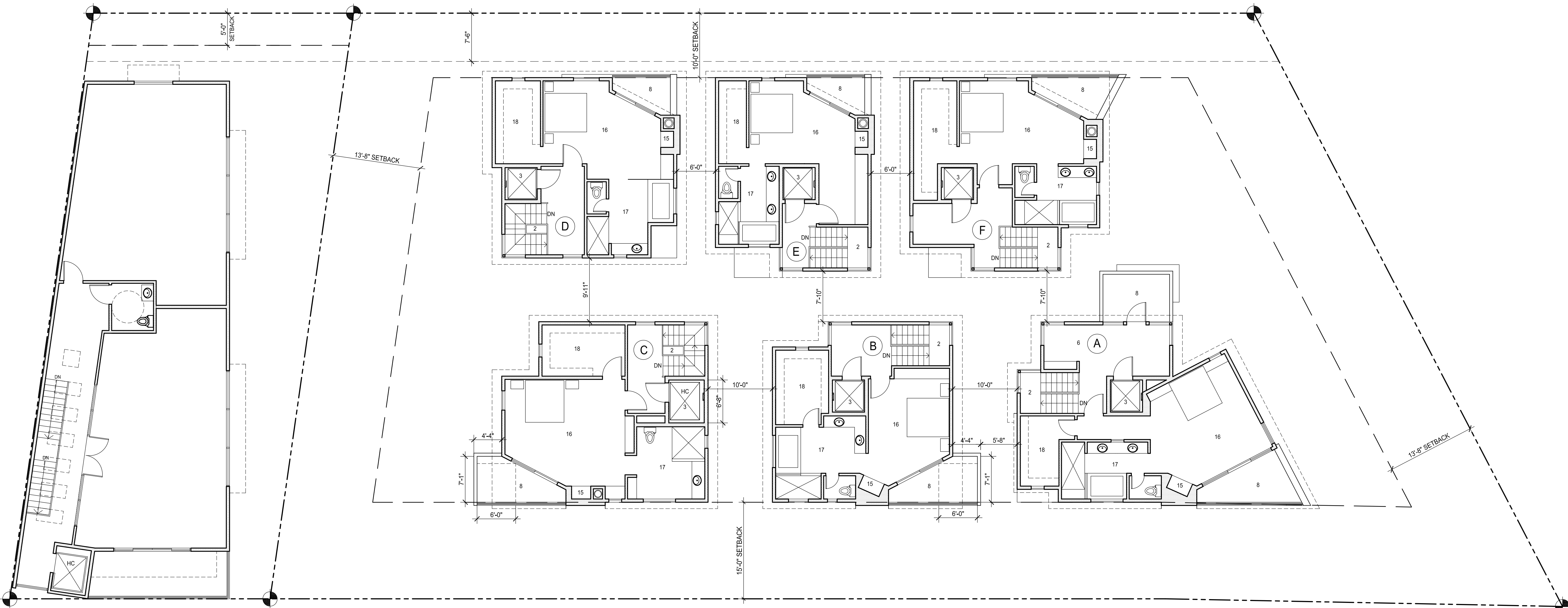
△
△
△
△
△
△
△
△



- LEGEND
- 1 STAIR
 - 2 ELEVATOR
 - 3
 - 4
 - 5
 - 6
 - 7 STUDY
 - 8 DECK
 - 9
 - 10 POWDER
 - 11 DEN
 - 12 KITCHEN
 - 13 DINING
 - 14 LIVING
 - 15 FIREPLACE
 - 16 MASTER BEDROOM
 - 17 MASTER BATH
 - 18 MASTER CLOSET

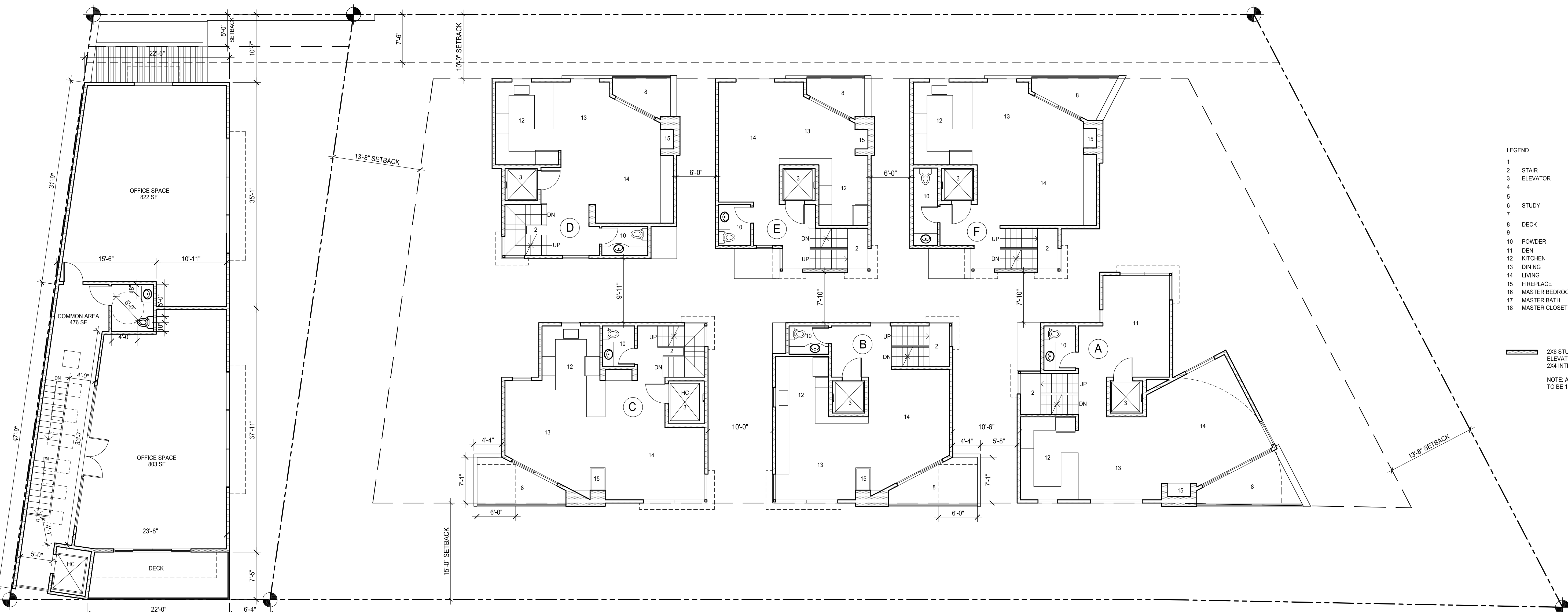
2X6 STUD WALL EXTERIOR AND
ELEVATOR SHAFT WALL.
2X4 INTERIOR WALLS.

NOTE: ALL EXTERIOR WALLS
TO BE 1 HR PER TABLE CBC 602.



COMMERCIAL SECOND LEVEL

DETACHED CONDOMINIUMS THIRD LEVEL



COMMERCIAL SECOND LEVEL

DETACHED CONDOMINIUMS SECOND LEVEL

CLIENT:
MR. MAGDI HANNA
3345 NEWPORT BLVD.
NEWPORT BEACH, CA. 92663

PROJECT:
PLAZA CORONA DEL MAR
MIXED USE PROJECT
3918 E. COAST HIGHWAY
CORONA DEL MAR, CA. 92625

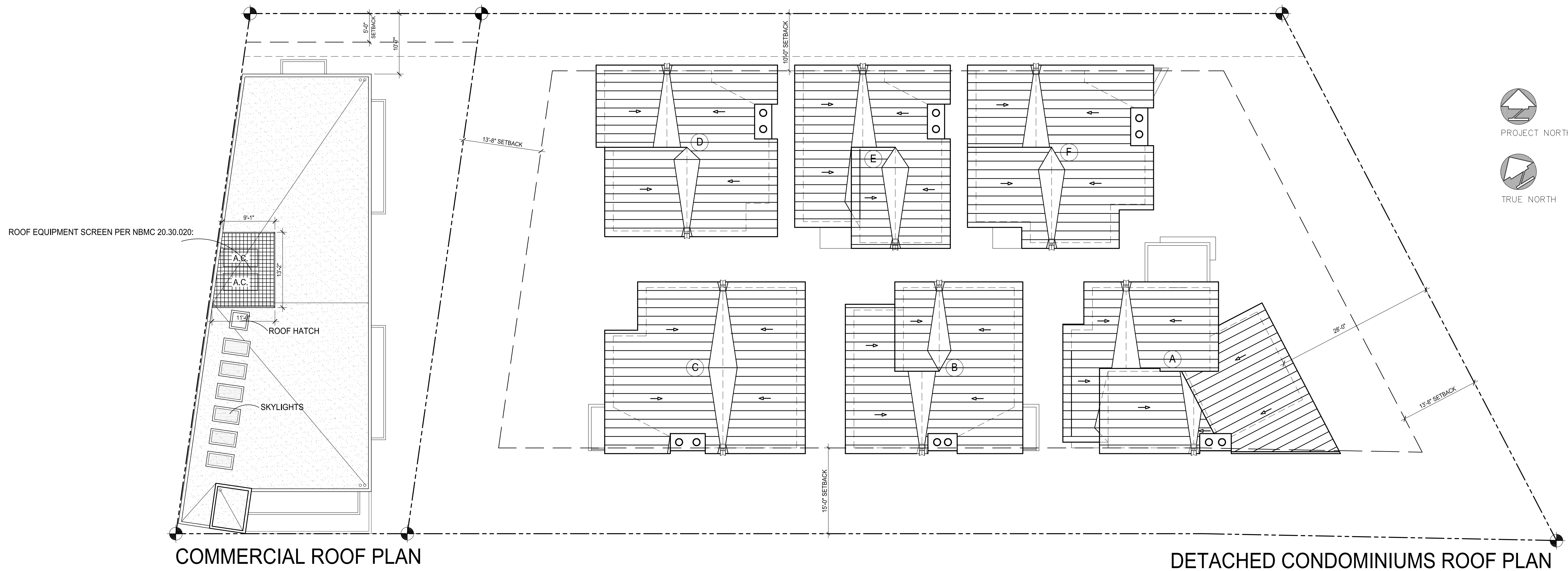
SHEET TITLE:
ROOF PLAN

THESE DRAWINGS AND SPECIFICATIONS ARE THE
SOLE PROPERTY AND COPYRIGHT OF MARCELO E.
LISCHE, ARCHITECT, A.I.A. AND SHALL NOT BE USED
ON ANY OTHER WORK EXCEPT BY WRITTEN
AGREEMENT WITH THE ARCHITECT. WRITTEN
DIMENSIONS SHALL SUPERSEDE SCALED
DIMENSIONS AND SHALL BE VERIFIED ON THE
JOBSITE. ANY DISCREPANCIES SHALL BE
IMMEDIATELY BROUGHT TO THE ATTENTION OF THE
ARCHITECT PRIOR TO
THE COMMENCEMENT OF ANY WORK.
MARCELO E. LISCHE, ARCHITECT, A.I.A., ALL RIGHTS
RESERVED.

JOB #: 850110109
DRAWN BY: P.L.
CHECKED BY: M.L.
SCALE: 1/8"=1'-0"
DATE: 03-10-12

REVISIONS:

△
△
△
△
△
△
△
△
△

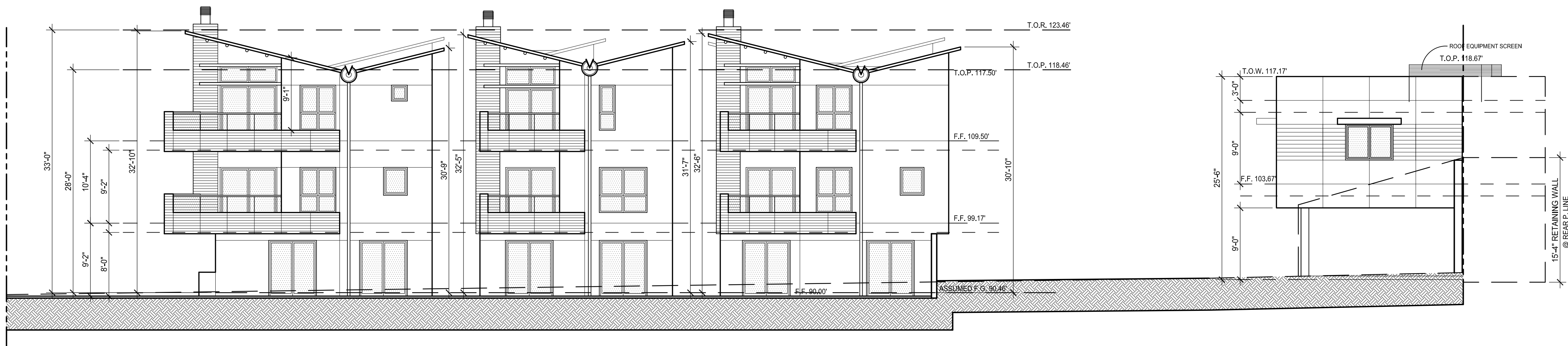


NOTE:
ROOFING MATERIALS:
CLASS "A" STANDING SEAM METAL ROOF @ TOWNHOMES, SLOPE 3:12
FLAT ROOF: CLASS "A" BUILT-UP ROOF @ COMMERCIAL BUILDING, SLOPE 1/4:12

NOTE:
SEE EXTERIOR ELEVATIONS FOR COMPLIANCE WITH MAX. BUILDING HEIGHT



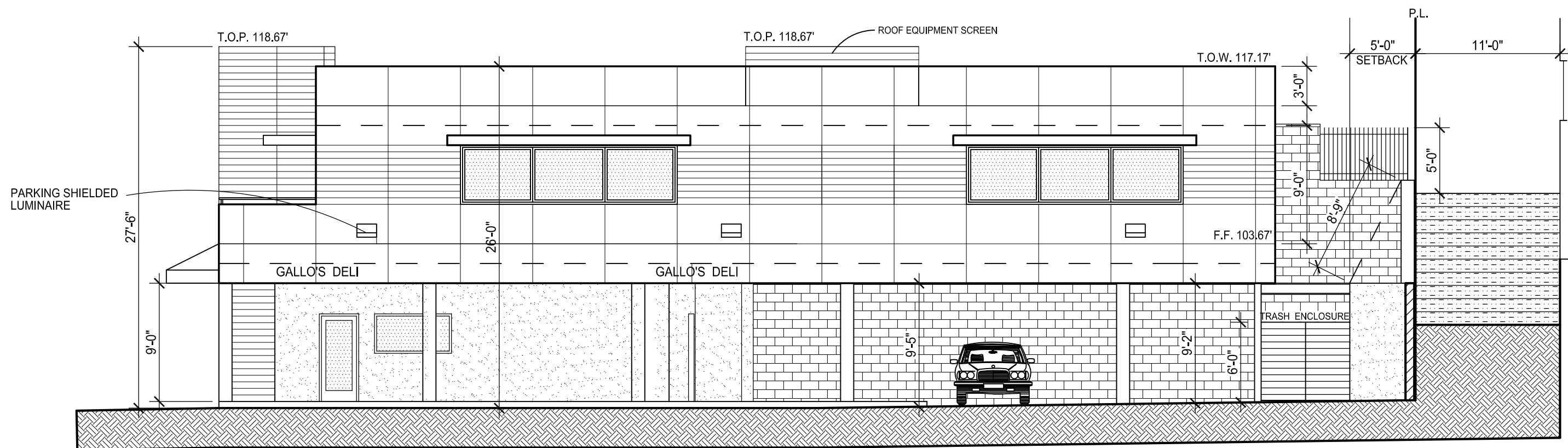
SOUTH ELEVATION (street front)



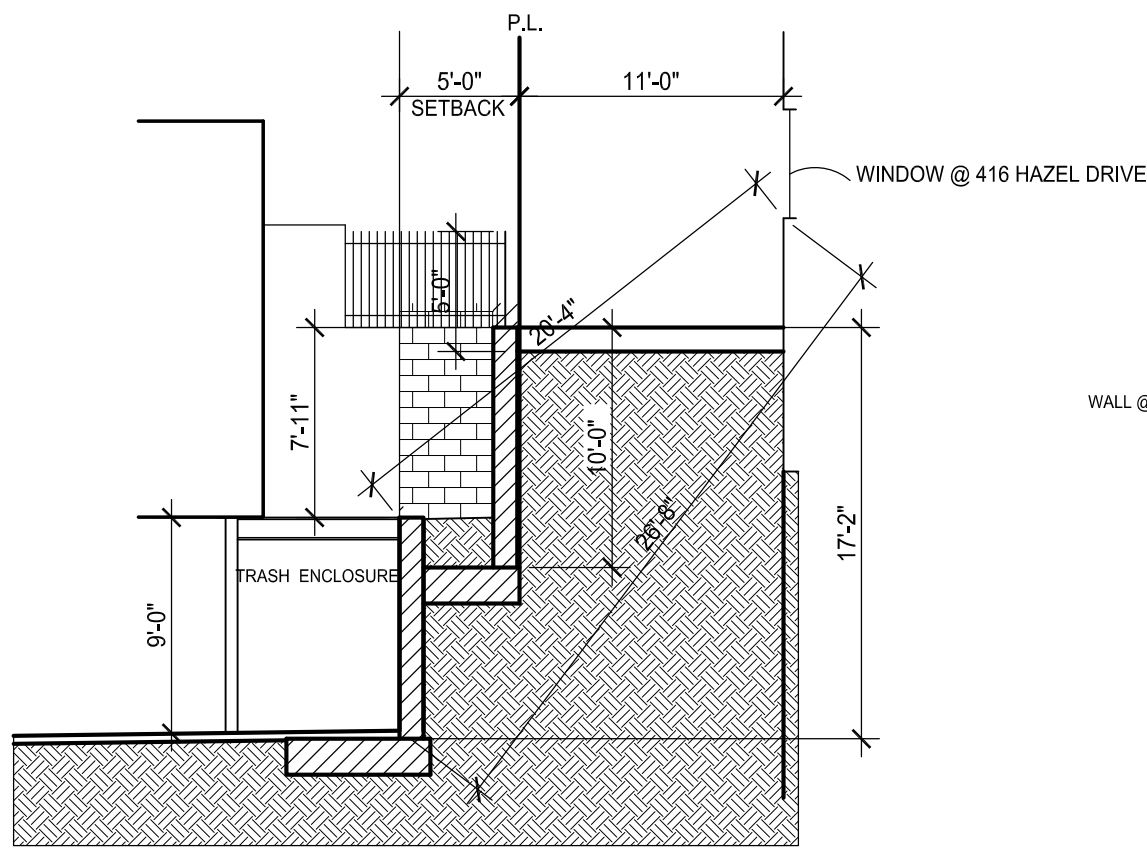
NORTH ELEVATION

BUILDINGS EXPOSED TO SPECIAL FIRE HAZARD ZONE
NOTE: ALL EXTERIOR WALLS, DOORS AND WINDOWS
TO BE 1HR ASSEMBLY
BUILDINGS ARE FULLY SPRINKLERED

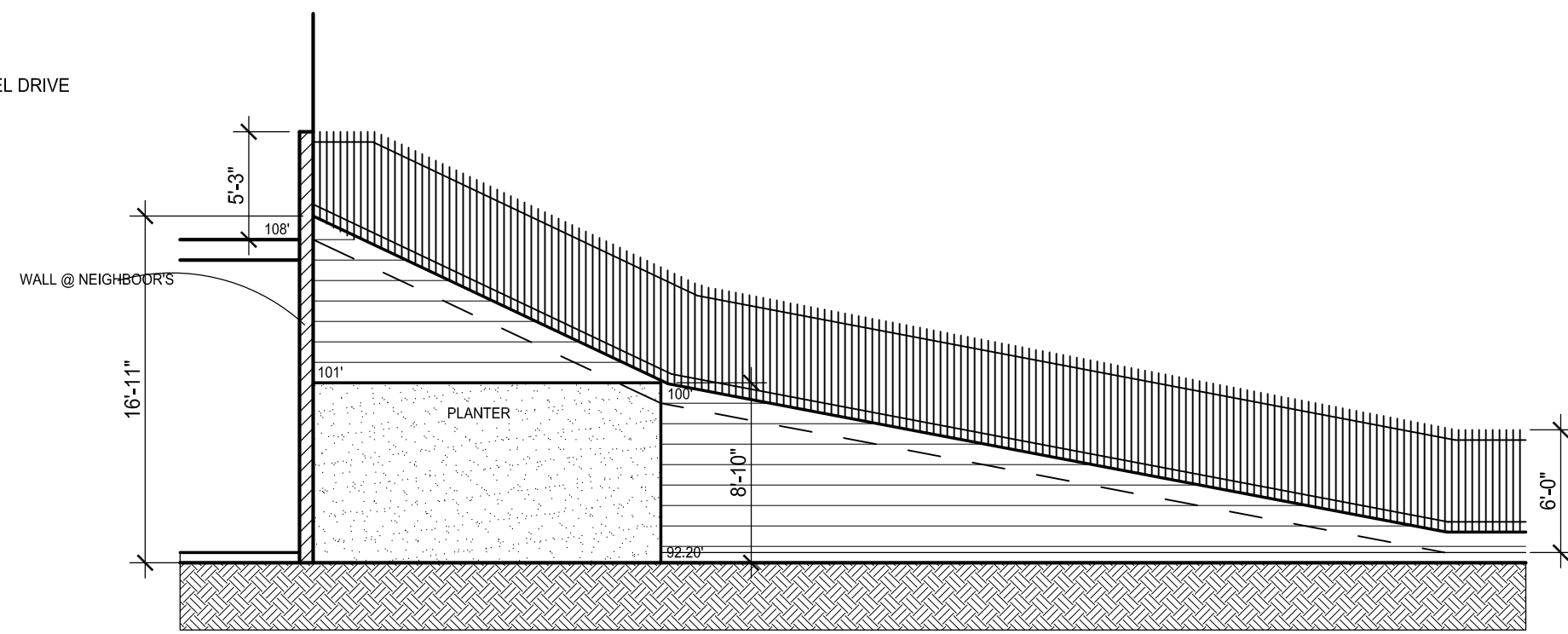
EXTERIOR MATERIALS:
7/8" SMOOTH STUCCO, COLOR TO BE DETERMINED
CLASS "A" STANDING SEAM METAL ROOFING
DUAL GLAZE ALUMINUM WINDOWS AND DOORS
STEEL AND TEMPERED GLASS RAILINGS



OFFICE BUILDING EAST ELEVATION



RETAINING WALL SECTION AT ALLEY



RETAINING WALL ELEVATION AT ALLEY

CLIENT:
MR. MAGDI HANNA
3345 NEWPORT BLVD.
NEWPORT BEACH, CA. 92663

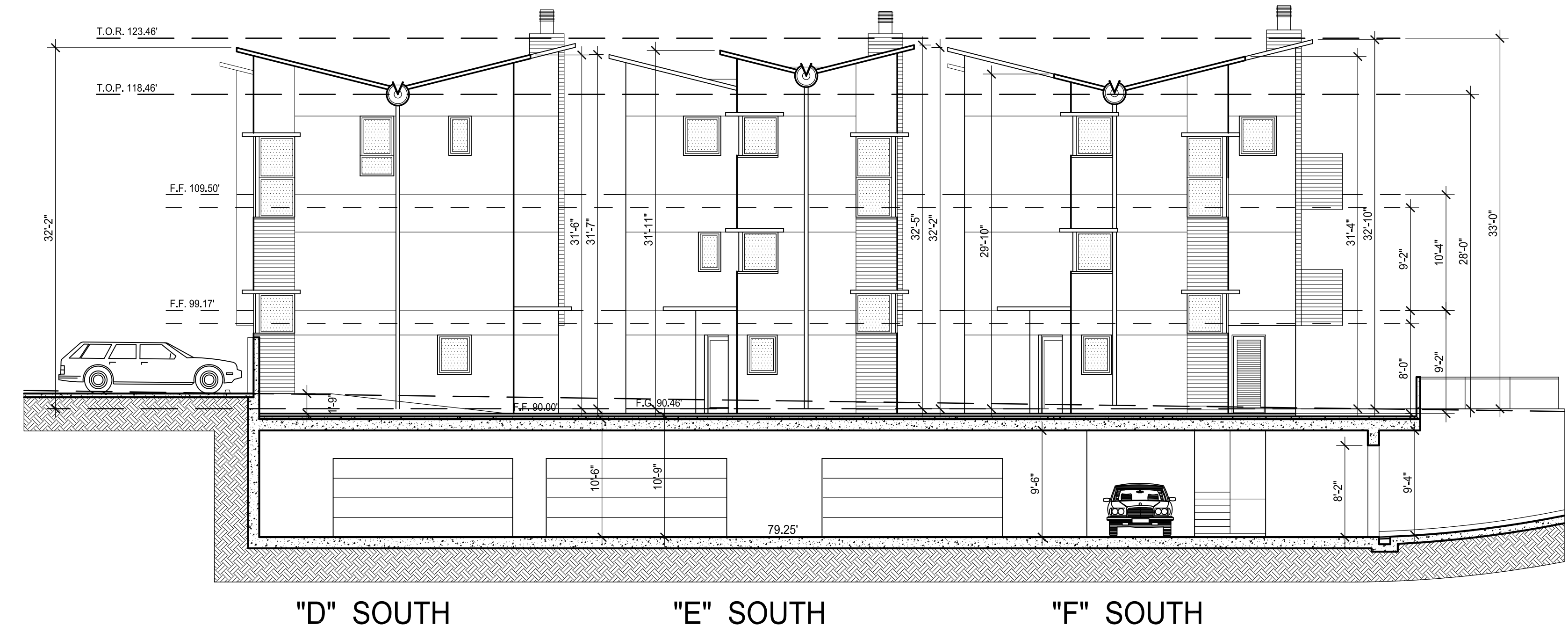
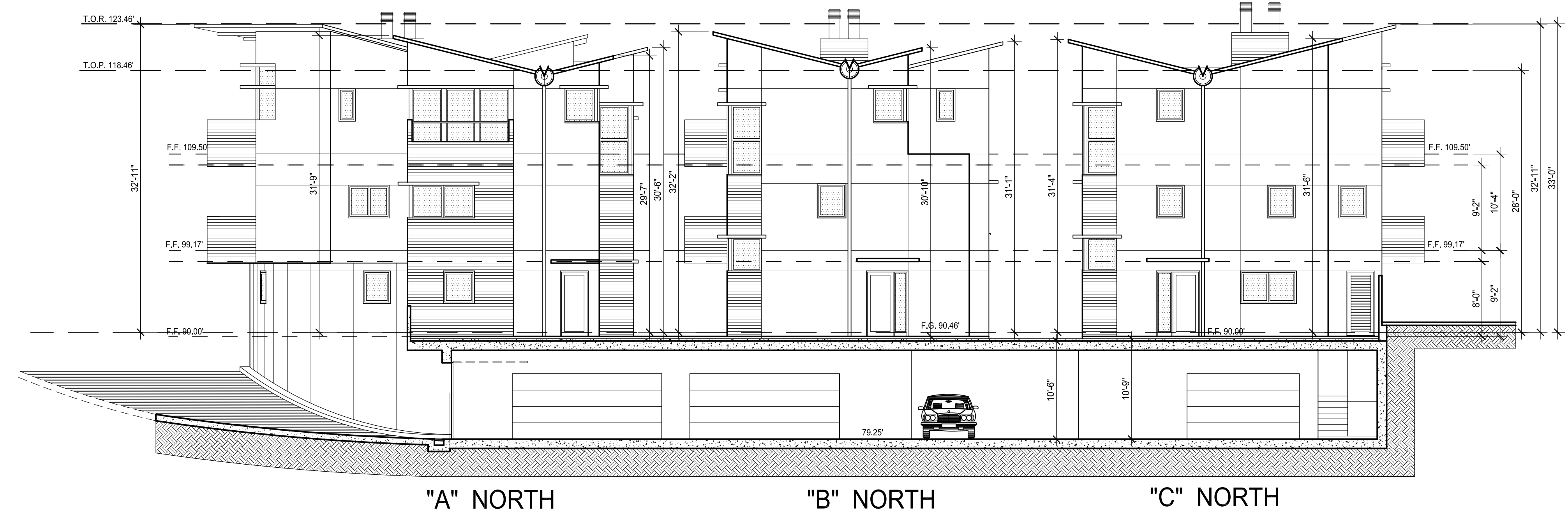
PROJECT:
PLAZA CORONA DEL MAR
MIXED USE PROJECT
3918 E. COAST HIGHWAY
CORONA DEL MAR, CA. 92625

SHEET TITLE:
EXTERIOR ELEVATIONS

THESE DRAWINGS AND SPECIFICATIONS ARE THE
SOLE PROPERTY AND COPYRIGHT OF MARCELO E.
LISCHE, ARCHITECT, A.I.A. AND SHALL NOT BE USED
ON ANY OTHER WORK EXCEPT BY WRITTEN
AGREEMENT WITH THE ARCHITECT. WRITTEN
DIMENSIONS SHALL SUPERSEDE SCALED
DIMENSIONS AND SHALL BE VERIFIED ON THE
JOB SITE. ANY DISCREPANCIES SHALL BE
IMMEDIATELY BROUGHT TO THE ATTENTION OF THE
ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.
MARCELO E. LISCHÉ, ARCHITECT, A.I.A. ALL RIGHTS
RESERVED.

JOB #: 85010109
DRAWN BY: P.L.
CHECKED BY: M.L.
SCALE: 1/8"=1'-0"
DATE: 09-19-12

REVISIONS:
△
△
△
△
△
△
△



BUILDINGS EXPOSED TO SPECIAL FIRE HAZARD ZONE
NOTE: ALL EXTERIOR WALLS, DOORS AND WINDOWS
TO BE 1HR ASSEMBLY
BUILDINGS ARE FULLY SPRINKLERED

EXTERIOR MATERIALS:
7/8" SMOOTH STUCCO, COLOR TO BE DETERMINED
CLASS "A" STANDING SEAM METAL ROOFING
DUAL GLAZE ALUMINUM WINDOWS AND DOORS
STEEL AND TEMPERED GLASS RAILINGS

CLIENT:
MR. MAGDI HANNA
3345 NEWPORT BLVD.
NEWPORT BEACH, CA. 92663

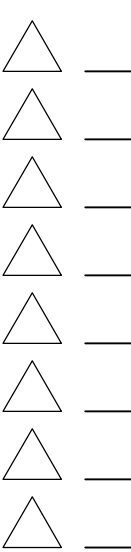
PROJECT:
PLAZA CORONA DEL MAR
MIXED USE PROJECT
3918 E. COAST HIGHWAY
CORONA DEL MAR, CA. 92625

SHEET TITLE:
EXTERIOR ELEVATIONS

THESE DRAWINGS AND SPECIFICATIONS ARE THE
SOLE PROPERTY AND COPYRIGHT OF MARCELO E.
LISCHE ARCHITECT, A.I.A. AND SHALL NOT BE USED
ON ANY OTHER WORK EXCEPT BY WRITTEN
AGREEMENT WITH THE ARCHITECT. WRITTEN
DIMENSIONS SHALL SUPERSEDE SCALED
DIMENSIONS AND SHALL BE VERIFIED ON THE
JOB SITE. ANY DISCREPANCIES SHALL BE
IMMEDIATELY BROUGHT TO THE ATTENTION OF THE
ARCHITECT PRIOR TO
THE COMMENCEMENT OF ANY WORK.
MARCELO E. LISCHÉ, ARCHITECT, A.I.A. ALL RIGHTS
RESERVED.

JOB #:
DRAWN BY:
CHECKED BY:
SCALE:
DATE:

REVISIONS:



87
BALCONY

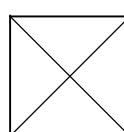
955

NOTE: ELEVATOR AREA IS COUNTED AT BASEMENT ONLY.
PRIVATE STAIR AREA IS COUNTED ONLY AT FIRST FLOOR

SUBTERRANEAN PARKING

626

79
P.O.S.



743

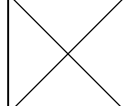
731

731

SECOND FLOOR COMMERCIAL
TOTAL COVERED SPACE 2,101 SF

641

46 BALCONY

458 P.O.S.	
	710

OFFICE SPACE
822 SF

COMMON AREA
476 SF

OFFICE SPACE
803 SF

DECK
158 SF

46
BALCONY

568

A large rectangular area with a thin black border. In the center, the number "672" is printed in a bold, black, sans-serif font. Below the number is a square symbol consisting of a square with a diagonal line from the top-left to the bottom-right and another diagonal line from the top-right to the bottom-left, forming an 'X' shape.

The floor plan shows a large rectangular area labeled "GALLO'S DELI 535 SF" and a smaller rectangular area labeled "LOBBY 59 SF" attached to the bottom left corner of the main area.

NOTE: ELEVATOR STAIR AREA IS COUNTED AT 2ND FLOOR ONLY
OFFICE LOBBY AREA IS COUNTED AT 1ST. FLOOR ONLY

62
BALCONY

683

Floor plan of Unit 683. The unit includes a living area with a fireplace, a kitchen with a sink and stove, and a balcony. The unit number 683 is prominently displayed in the center. A small square with an 'X' is located in the living area, and another similar square is located in the kitchen area. The balcony is labeled '62 BALCONY'.

272
P.O.S.

654

FIRST FLOOR

384 Forest Ave. Suite 19 Laguna Beach, CA 92651 Phone 949-464-9426 Fax 949-464-9436

A-F.A.

CLIENT:
MR. MAGDI HANNA
3345 NEWPORT BLVD.
NEWPORT BEACH, CA. 92663

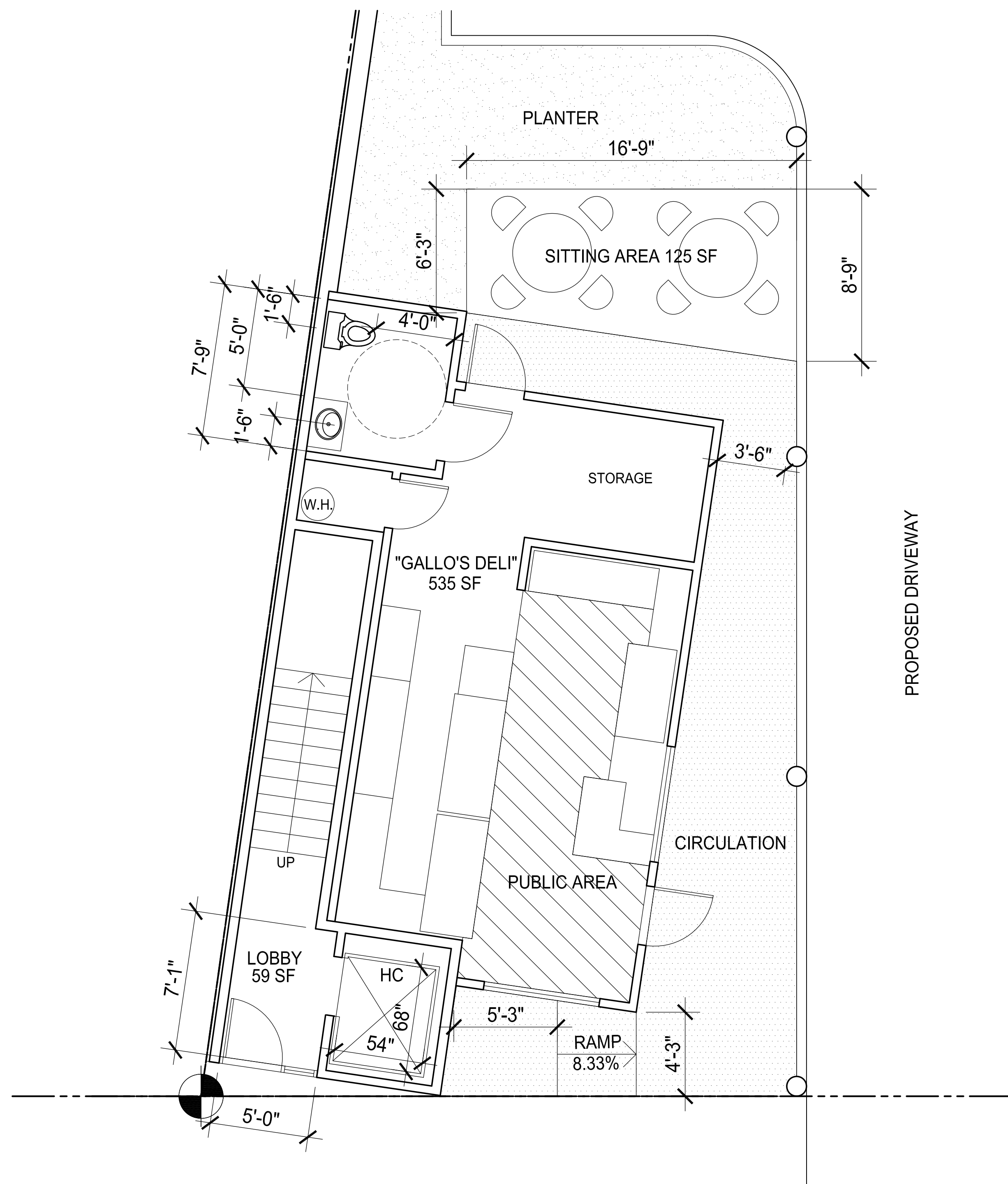
PROJECT:
PLAZA CORONA DEL MAR
MIXED USE PROJECT
3918 E. COAST HIGHWAY
CORONA DEL MAR, CA. 92625

SHEET TITLE:
EXISTING AND PROPOSED
GALLO'S SEATING
ARRANGEMENT

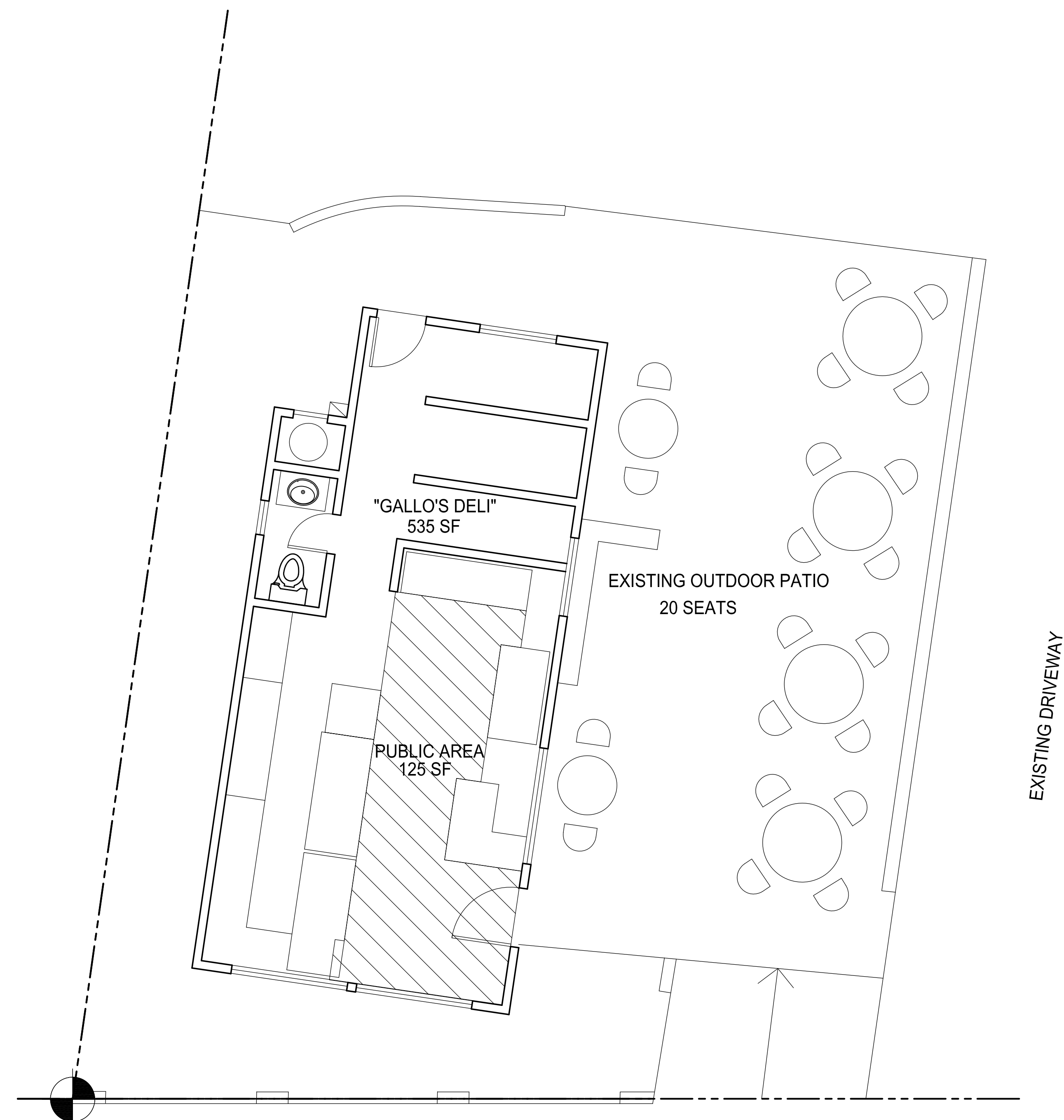
THESE DRAWINGS AND SPECIFICATIONS ARE THE
SOLE PROPERTY AND COPYRIGHT OF MARCELO E.
LISCHE, ARCHITECT, A.I.A. AND SHALL NOT BE USED
ON ANY OTHER WORK EXCEPT BY WRITTEN
AGREEMENT WITH THE ARCHITECT. WRITTEN
DIMENSIONS SHALL SUPERSEDE SCALED
DIMENSIONS AND SHALL BE VERIFIED ON THE
JOBITE. ANY DISCREPANCIES SHALL BE
IMMEDIATELY BROUGHT TO THE ATTENTION OF THE
ARCHITECT PRIOR TO
THE COMMENCEMENT OF ANY WORK.
MARCELO E. LISCHÉ, ARCHITECT, A.I.A. ALL RIGHTS
RESERVED.

JOB #: 85010109
DRAWN BY: P.L.
CHECKED BY: M.L.
SCALE: 1/4"=1'-0"
DATE: 09-10-12

REVISIONS:
△ _____
△ _____
△ _____
△ _____
△ _____
△ _____
△ _____
△ _____



PROPOSED GALLO'S SEATING



EXISTING GALLO'S SEATING